

## ORDINANCE 111323

AN ORDINANCE OF THE CITY OF EDGEWOOD, TEXAS, AMENDING THE ZONING ORDINANCE OF THE CITY OF EDGEWOOD, ORDINANCE ADOPTED JUNE 2, 2014, TOGETHER WITH ALL AMENDMENTS THERETO SPECIFICALLY PART II. LAND DEVELOPMENT CODE; CHAPTER 125, SECTIONS 125-5 AND 125-6 OF THE CODE OF ORDINANCES OF THE CITY OF EDGEWOOD, TEXAS TO ESTABLISH A MINIMUM FLOOR AREA FOR SINGLE-FAMILY DWELLINGS CONSTRUCTED, ERECTED, RECONSTRUCTED OR ALTERED IN THE R-1 AND R-2 RESIDENTIAL DISTRICTS WITHIN THE CITY OF EDGEWOOD; SECTION 125-7 (1) PERMITTED USE REGULATIONS IN A "B-1" NEIGHBORHOOD/HISTORICAL BUSINESS DISTRICT; PROVIDING A PENALTY FOR VIOLATION; AUTHORIZING PUBLICATION OF THE DESCRIPTIVE CAPTION AND PENALTY CLAUSE PROVIDING FOR A PENALTY NOT TO EXCEED \$2,000.00 FOR EACH OFFENSE; PROVIDING A SAVINGS CLAUSE AND SEVERABILITY CLAUSE.

**WHEREAS**, under the laws of the State of Texas, authority is conferred upon the City of Edgewood to establish zoning districts within the City for the purpose of regulating the use of land and controlling the density of population to the end that congestion may be lessened in the public streets and that the public health, safety, convenience and general welfare be promoted: and

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EDGEWOOD, TEXAS:**

Section 1. That all of the above premises are found to be true and correct and are incorporated into the body of this Ordinance as if copied in the entirety.

Section 2. That Section 125-5 "R-1' One-Family Dwelling District", Section 125-6 "R-2' Multifamily Dwelling District", and Section 125-7 "B-1" Neighborhood Business District shall be amended in Part II. Land Development Code; Chapter 125 of the City of Edgewood Code of Ordinances as follows:

**Section 125-5. "R-1" One-Family Dwelling District.**

*(3) Area regulations.*

*d. Floor area.* Every single-family dwelling constructed, erected, reconstructed or altered in the district shall have a minimum floor area of one thousand (1,000) square feet that shall be air-conditioned living space, excluding basements, open and/or screened porches and garages.

**Section 125-6. "R-2" Multifamily Dwelling District.**

*(4) Intensity of Use.*

*e. Floor area.* Every single-family dwelling constructed, erected, reconstructed or altered in the district shall have a minimum floor area of one thousand (1,000) square feet that shall be air-conditioned living space, excluding basements, open and/or screened porches and garages.

**Section 125-7. "B-1" Neighborhood Business District.**

*(1) Use regulations.* A building or premise shall be used only for the following purposes:



- a. *Only use permitted* in the "B-1" Neighborhood/Historical Business District.

Section 3. A violation of this zoning ordinance shall have a maximum fine of \$2,000.00 for each offense and each day any violation of this ordinance shall continue shall constitute a separate offense.

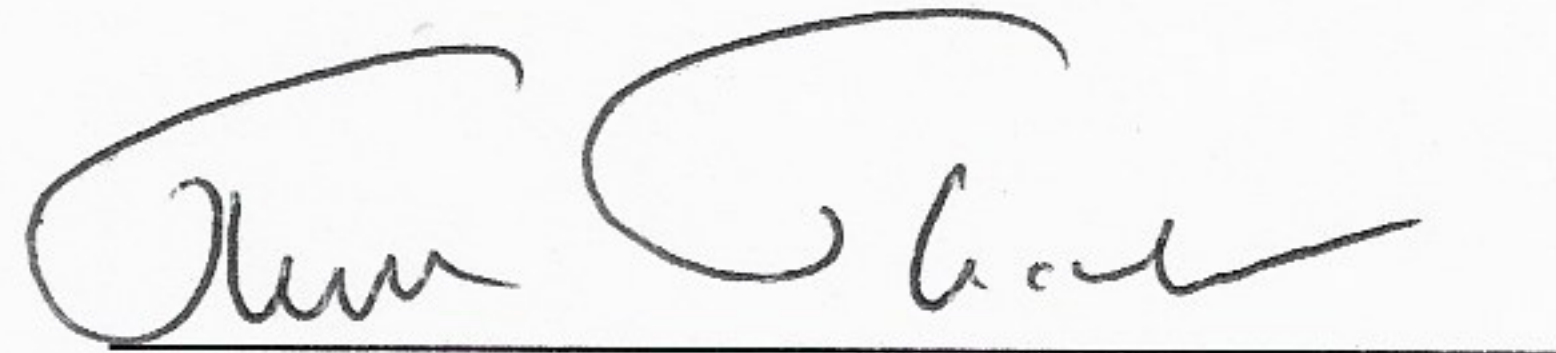
Section 4. This ordinance shall be cumulative of all other ordinances of the City and shall not repeal any of the provisions of those ordinances except where provisions of those ordinances are in direct conflict with the provisions of this ordinance and such ordinances shall remain intact and are hereby ratified, verified and affirmed.

Section 5. If any section, article, paragraph, sentence, clause, phrase or word in this ordinance, or its application to any person or circumstance, is held invalid or unconstitutional by a court of competent jurisdiction, such holding shall not affect the validity of the remaining portions of this ordinance, and the City Council hereby declares it would have passed such remaining portions of this ordinance despite such invalidity, which remaining portions shall remain in full force and effect.

Section 6. Any person violating this zoning ordinance shall be subject to the penalties of Section 125-20.

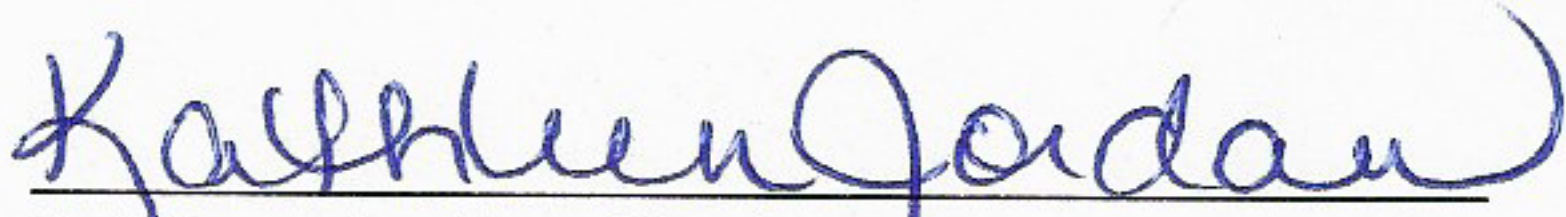
Section 7. This ordinance shall become effective from and after the date of its passage by the City Council and publication as provided by law, and it is accordingly so ordained.

PASSED AND APPROVED THIS THE 13<sup>th</sup> DAY OF NOVEMBER, 2023.



Steve Steadham, Mayor

ATTEST:



Kathleen Jordan, City Secretary